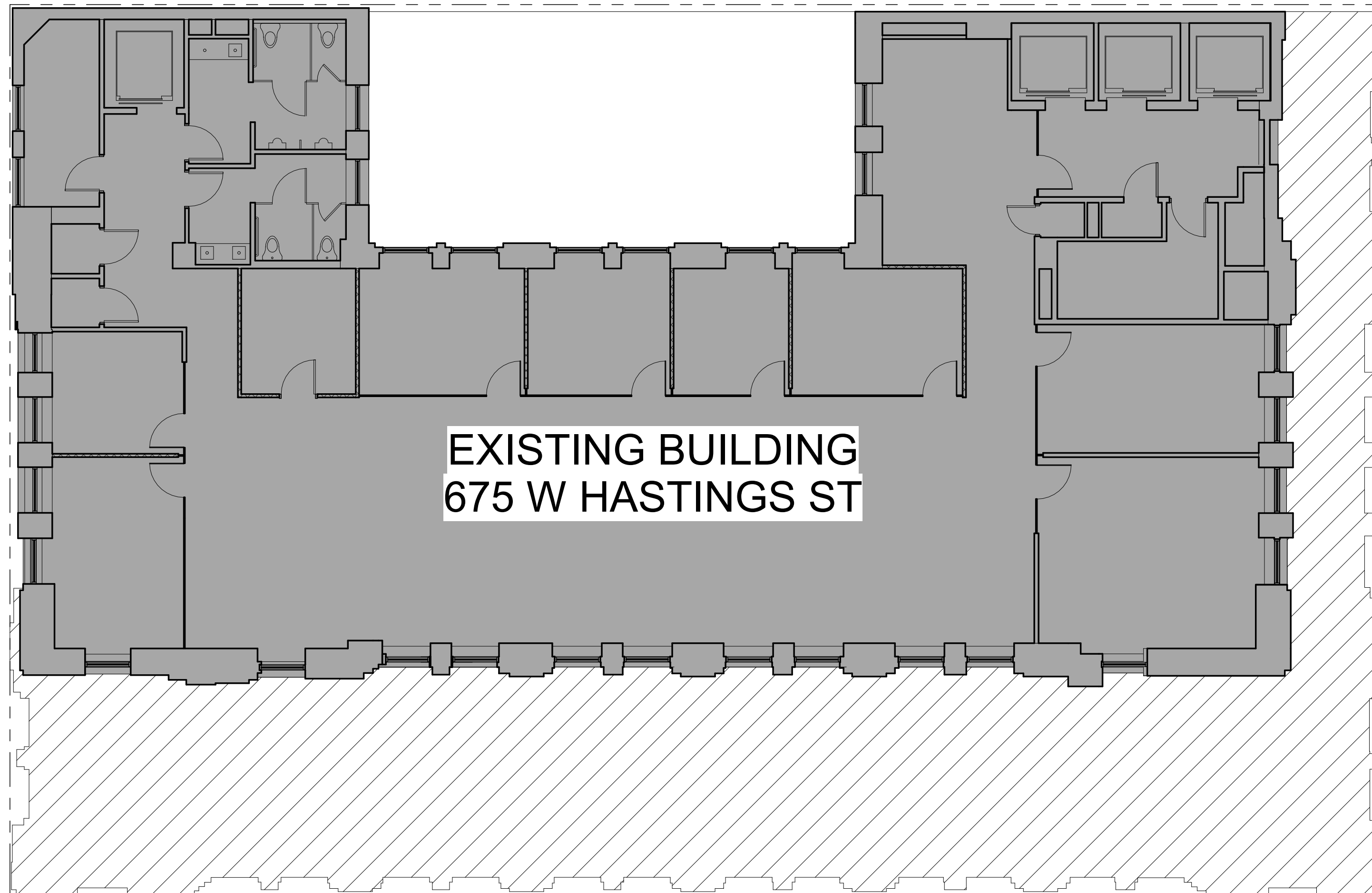


LANE



EXISTING BUILDING
675 W HASTINGS ST

WEST HASTINGS ST

GRANVILLE STREET

BUILDING DATA

CIVIC ADDRESS	SUITE 700-675 W HASTINGS STREET, VANCOUVER V6B 1N2
LEGAL DESCRIPTION	LOT A BLOCK 14 PLAN EPP105179 DISTRICT LOT 541 NWD GROUP 1
PID	031-465-242
ZONING	CD-1

CODE REVIEW

APPLICABLE CODES VANCOUVER BUILDING BYLAW - 2019

BUILDING SHELL

MAJOR OCCUPANCIES CONFORMING TO TABLE 3.1.2.1 (UNCHANGED)
D - BUSINESS AND PERSONAL SERVICES OCCUPANCIES
E - MERCANTILE OCCUPANCIES

BUILDING SIZE / FIRE RATING BUILDING AREA: 9,108.98 SQ.FT. (846.25 SQ.M.)
BUILDING HEIGHT: 18 STORIES AS PER 3.2.1.1
BUILDING FACES: 2 STREET 3.2.2.10 & 3.2.2.5
BUILDING CONSTRUCTION: NON-COMBUSTIBLE
BUILDING IS SPRINKLERED
BUILDING COMPLIES WITH 3.2.2.55 & 3.2.2.64

SEPARATION TO MAJOR OCCUPANCIES D / D: 0HR

WATER CLOSET (UNCHANGED) PROVIDED - MEN : 2 TOILET + 2 URINALS
WOMEN : 2 TOILET

UNIVERSAL WATER CLOSET (UNCHANGED) PROVIDED - 1 EACH SEX.

TENANT IMPROVEMENT CLASSIFICATION OCCUPANCY - GROUP D
CONFORMING TO 3.2.2.55
CONSTRUCTION TYPE - NON-COMBUSTIBLE

AREA OF INT. CONST. APPROX. 518.37 SQ.FT. (48.15 SQ.M.)

WATER CLOSETS (UNCHANGED) REQUIRED - 2 EACH SEX CONFORMING TO TABLE 3.7.2.2.-B
PROVIDED - 2 EACH SEX

EXIT CAPACITY (UNCHANGED) REQUIRED - 0.24" PER PERSON REQUIREMENT
REQUIRED = 37 PERSONS X 0.24" = 8.8"
PROVIDED = 70"

FIRE SEPARATION REQUIREMENTS

REQUIRED:

- FLOOR: 120 MINUTE F.R.R.
- MEZZANINE: 60 MINUTE F.R.R.
- LOAD-BEARING SUPPORTING AN ASSEMBLY: NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY.

PROPOSED:

- (NOT PROPOSED)
- (NOT PROPOSED)
- (NOT PROPOSED)

SEPARATION OF SUITES: 3.3.1.1

- A SUITE SHALL BE SEPARATED FROM ADJOINING SUITES BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING NOT LESS THAN 1 HOUR.
- NO FIRE SEPARATION IS REQUIRED BETWEEN SUITES OF BUSINESS AND PERSONAL SERVICES OCCUPANCY.

PENETRATIONS THROUGH FIRE SEPARATIONS AND FIRE RATED ASSEMBLIES WILL HAVE FIRE CAULKING MATERIAL AND ARE SUBJECT TO THE REQUIREMENTS OF ARTICLES 3.1.9 OF THE 2019 VBBL.

INSTALL FIRE DAMPERS WITH FIRE CAULKING MATERIAL WHERE EXHAUST FAN PENETRATES FIRE SEPARATION AS PER 3.1.8.10

MAXIMUM TRAVEL DISTANCE: 3.3.1.6 & 3.4.2.5

TRAVEL DISTANCE: 147.6' (45.0 M) IN A FLOOR AREA THAT CONTAINS AN OCCUPANCY OTHER THAN HIGH-HAZARD, AND IS SPRINKLERED THROUGHOUT AS PER 3.4.2.5.(C)

MINIMUM NUMBER OF EXITS: 3.3.1.5 & 3.4.2.1

MINIMUM ONE EXIT
(MAXIMUM FLOOR AREA OF 3,229.17 SQ.FT (300 SQ.M) FOR ONE EXIT PERMITTED IN GROUP D.)
TRAVEL DISTANCE: 82.02' (25.0 M) AS PER TABLE 3.3.1.5.-B

GENERAL NOTES

- ALL WORKMANSHIP AND METHODS OF CONSTRUCTION TO MEET REQUIREMENTS OF THE CURRENT EDITION OF THE VANCOUVER BUILDING BYLAW 2019 (VBBL).
- CONTRACTOR TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION DISCREPANCIES TO BE REPORTED TO THE CANADIAN BLUEPRINT FOR CLARIFICATION PRIOR TO PROCEEDING. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- MAKE GOOD ALL EXISTING CONSTRUCTION AND SURROUNDING AREAS DAMAGED DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY WITH OWNER THE AVAILABLE MEANS AND CONDITIONS AFFECTING THE MOVEMENT OF MATERIALS AND COMPONENTS INTO THE BUILDING.
- PROVIDE STRUCTURAL WALL BACKING AS REQUIRED FOR OVERHEAD AND INTERIOR DOOR INSTALLATIONS AS WELL AS MILLWORK AND WASHROOM FIXTURING.
- PROVIDE DRYWALL ACCESS HATCHES TO DRYWALL PARTITIONS AND CEILINGS TO SUIT MECHANICAL AND ELECTRICAL INSTALLATIONS.
- EMERGENCY LIGHTS, EXIT SIGNS, FIRE EXTINGUISHERS, SMOKE DETECTORS, FIRE PULLS AND ALARMS OR ANY OTHER NECESSARY FIRE EQUIPMENT TO BE SUPPLIED AND INSTALLED BY SUB-CONTRACTOR. QUALITY AND PLACEMENT TO MEET CODE REQUIREMENTS.
- DETAILS SHOWN ARE FOR APPEARANCE PURPOSE ONLY AND ARE NOT INTENDED TO SUPERSEDE FABRICATION METHODS. REFER TO ALL MANUFACTURER'S SPECIFICATION FOR FABRICATION METHODS.
- CONTRACTOR TO VISIT SITE BEFORE SUBMITTING TENDER AND EXAMINE LOCAL AND EXISTING CONDITIONS ON WHICH THE WORK IS DEPENDENT. NO CONSIDERATION WILL BE GRANTED FOR MISUNDERSTANDING OF WORK TO BE DONE RESULTING FROM FAILURE TO VISIT THE SITE.
- CONTRACTOR IS TO ORDER ALL MATERIALS AND FINISHES IMMEDIATELY UPON RECEIVING NOTICE OF TENDER AWARD. NOTIFY CANADIAN BLUEPRINT IMMEDIATELY OF ANY UNAVAILABLE MATERIALS. USE NEW MATERIALS ONLY, EXCEPT WHERE NOTED OTHERWISE.
- ALL FIRESTOPPING, FOR WORK SUPPLIED AND INSTALLED AS INDICATED ON THESE DRAWINGS, TO CONFORM WITH THE REQUIREMENTS OF THE VBBL 2019 FOR FIRESTOPPING AND PENETRATIONS THROUGH FIRE SEPARATIONS.
- CONTRACTOR TO FILL VOIDS IN EXISTING CONCRETE FLOOR SLAB, AND PATCH AND REPAIR IN PREPARATION OF NEW FLOOR FINISHES.
- DIMENSIONS ARE TAKEN TO FINISHED FACE OF PARTITION OR FLOORING/CEILING FINISH U.N.O. DISCREPANCIES TO BE REPORTED TO CANADIAN BLUEPRINT FOR CLARIFICATION PRIOR TO PROCEEDING.
- DISCREPANCIES IN DRAWINGS AND/OR SPECIFICATION TO BE PROMPTLY REPORTED TO CANADIAN BLUEPRINT FOR CLARIFICATION PRIOR TO PROCEEDING.
- INFORMATION IN SPECIFICATION TAKES PRECEDENCE OVER INFORMATION IN THE DRAWING SET.
- CONTRACTOR TO MAINTAIN CONTINUITY OF EXISTING FIRE SEPARATIONS, AND REPAIR FIRE SEPARATIONS DAMAGED DURING THE COURSE OF THE CONSTRUCTION.

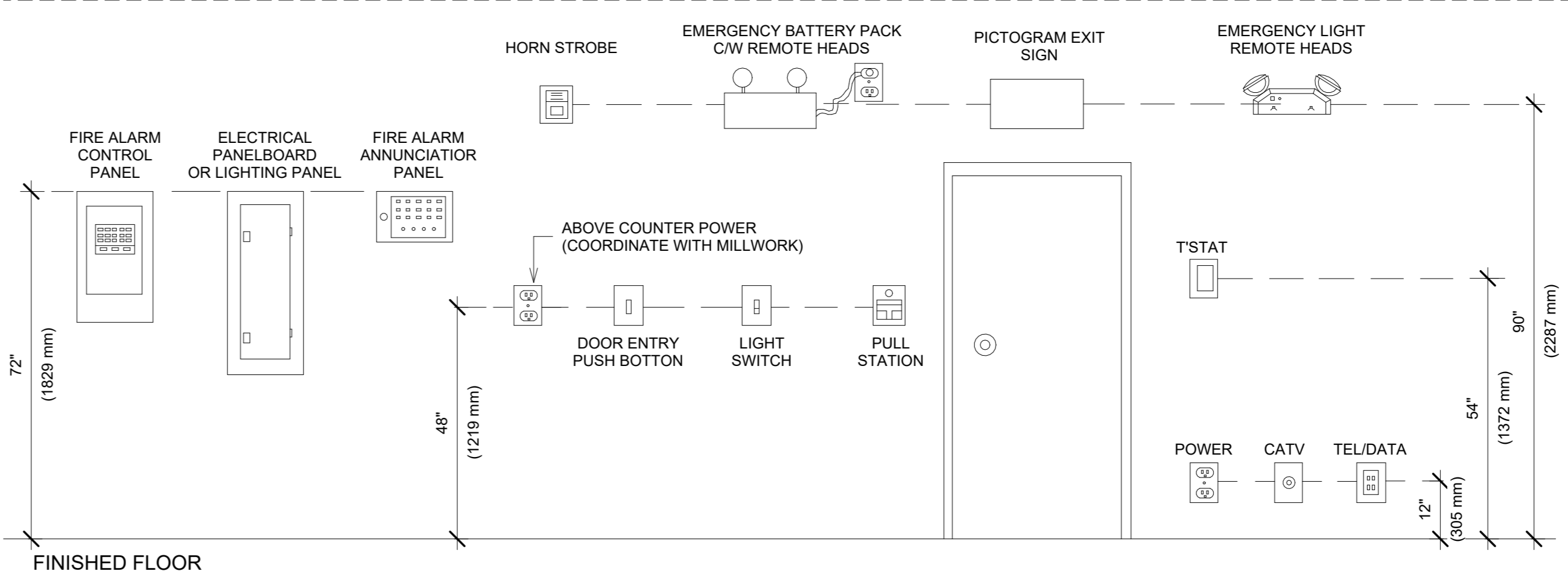
SCOPE OF WORK

- NO REDUCTION OR CHANGE IN TRAVEL DISTANCE OR EXIT/EGRESS PROVISION IS ASSOCIATED WITH THIS WORK.
- NO CHANGES OF BUILDING AREA OR FLOOR AREA IS ASSOCIATED WITH THIS WORK.
- NO CHANGES OF THE BUILDING'S FIRE RESISTANCE RATINGS OF EXISTING FLOORS AND LOAD-BEARING WALLS, COLUMNS AND BEAMS IS ASSOCIATED WITH THIS WORK.
- NO CHANGE OF USE IS ASSOCIATED WITH THIS WORK.
- NO CHANGE OF SPRINKLER SYSTEM IS ASSOCIATED WITH THIS WORK.
- SUPPLY AND INSTALL NEW NON-LOADBEARING WALLS.
- SUPPLY AND INSTALL NEW INTERIOR DOORS AND HARDWARE.
- SUPPLY AND APPLY NEW PAINT FINISH TO EXISTING SURFACES.
- SUPPLY AND INSTALL ELECTRICAL AND DATA OUTLETS.
- SUPPLY AND INSTALL LIGHT FIXTURES.

ABBREVIATIONS

EX - EXISTING
P - PROPOSED
CH - CEILING HEIGHT
F.R.R. - FIRE RESISTANCE RATING
F.S - FIRE SEPARATION
T.D - TRAVEL DISTANCE
O.C - ON CENTER
U.N.O - UNLESS NOTED OTHERWISE
U/S - UNDERSIDE
C.W - COME WITH

CEILING



NOTES:

- MOUNTING HEIGHTS ARE TYPICAL UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALIGN ALL DEVICES VERTICALLY AND HORIZONTALLY.
- COORDINATE EXIT SIGN AND EMERGENCY LIGHTING BATTERY PACKS/REMOTE HEADS LOCATIONS WITH SITE CONDITIONS FOR SITE LINE VISIBILITY.

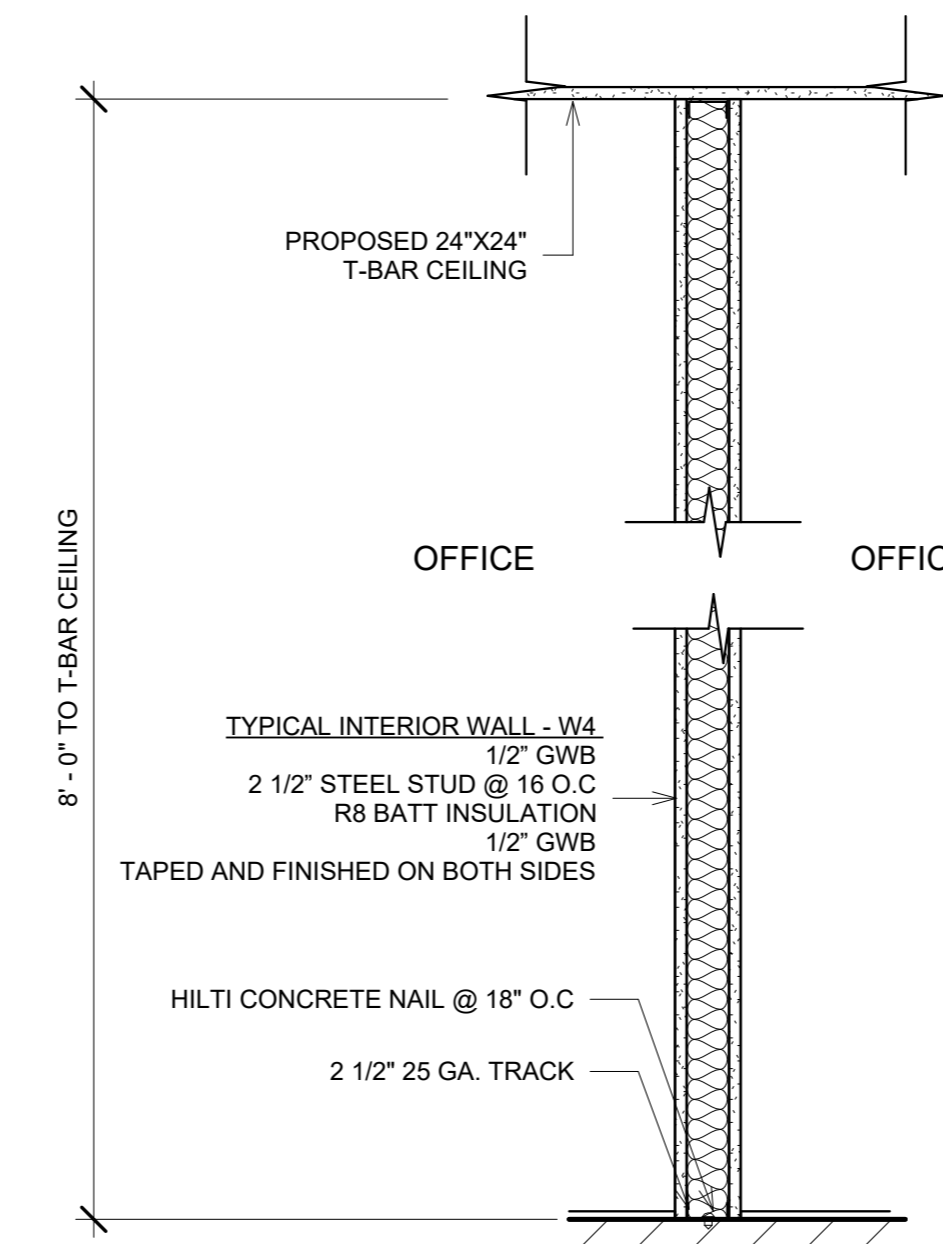
1 TYPICAL ELECTRICAL DEVICE MOUNTING HEIGHTS 1/2" = 1'-0"

WALL SCHEDULE

WALL	DESCRIPTION
W1	EXISTING EXTERIOR WALL TO REMAIN. PAINT ONLY.
W2	EXISTING INTERIOR WALL TO REMAIN. PAINT ONLY.
W3	EXISTING INTERIOR GLASS WALL TO REMAIN.
W4	NEW FULL HEIGHT INTERIOR WALL TO U/S OF CEILING - SEE DETAIL 2/BP1.0 1/2" GWB 2 1/2" STEEL STUDS @ 16" O.C R8 BATT INSULATION 1/2" GWB TAPED AND FINISHED ON BOTH SIDES
W5	STRUCTURAL GLASS 8'-0" H X 10MM CLEAR TEMPERED MONOLITHIC GLASS ON CLEAR ANODIZED ALUMINUM CHANNELS TOP AND BOTTOM. 1/8" CLEAR SILICONE SIDE AND BUTT JOINTS. NEW DRYWALL BULKHEAD ABOVE C/W PLY BACKING FOR GLAZING AND/OR RECESSED CLOSERS AS REQ'D FROM 8'-0" AF TO UNDERSIDE OF STRUCTURE. 3 5/8" METAL STUDS @ 16" O.C. C/W ONE LAYER OF 1/2" GWB BOTH SIDES - TAPE TO LEVEL 4 FINISH. R12 BATT INSULATION IN CAVITY. PROVIDE ADDITIONAL SEISMIC CROSS-BRACING AS REQUIRED BY CODE.

DOOR SCHEDULE

	DESCRIPTION
E	EXISTING DOOR TO REMAIN.
R	EXISTING DOOR TO BE RELOCATED.
D1	NEW TEMPERED GLASS INTERIOR DOOR - 3'-0" X 8'-0" X 12MM CLEAR TEMPERED GLASS ON TOP & BOTTOM PIVOTS WITH PATCH FITTINGS. CONCEALED HOLD-OPEN CLOSER ABOVE - DRYWALL. CONTRACTOR TO CONSTRUCT 4'-8" DRYWALL BULKHEAD TO THE UNDERSIDE OF STRUCTURE AND PROVIDE RECESSED POCKET C/W 3/4" PLY BACKING. BUILDING STANDARD BACK TO BACK PULL HANDLES TO MATCH EXISTING - 48" TBC (CRL 18LPBS OR HITECH CD-LADDER18 - CONFIRM). FLOOR MOUNTED DOORSTOP AS REQUIRED TO SUIT. EXTEND TOP SIDELITE CHANNEL BY 3" TO ACT AS OVERHEAD STOP. ALL HARDWARE TO BE BRUSHED STAINLESS STEEL FINISH.
D2	SOLID CORE, PAINT GRADE WOOD DOOR IN PAINT GRADE WOOD DOOR FRAME. DOOR TO BE 3'-0" WIDE X FULL HEIGHT (CEILING IS AT 8'-0" AFF). PASSAGE SET HARDWARE TO MATCH BUILDING STANDARD



2 W4 - TYPICAL INTERIOR WALL 1" = 1'-0"

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Sheet List

BP0.0	Site Plan
BP1.0	Notes & Details
BP2.0	Proposed Plan
BP3.0	Proposed RCP
BP4.0	Existing Plan

Revisions

No°	Description	Date
A	Started preliminary design	8/5/2024

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Tenant Improvement

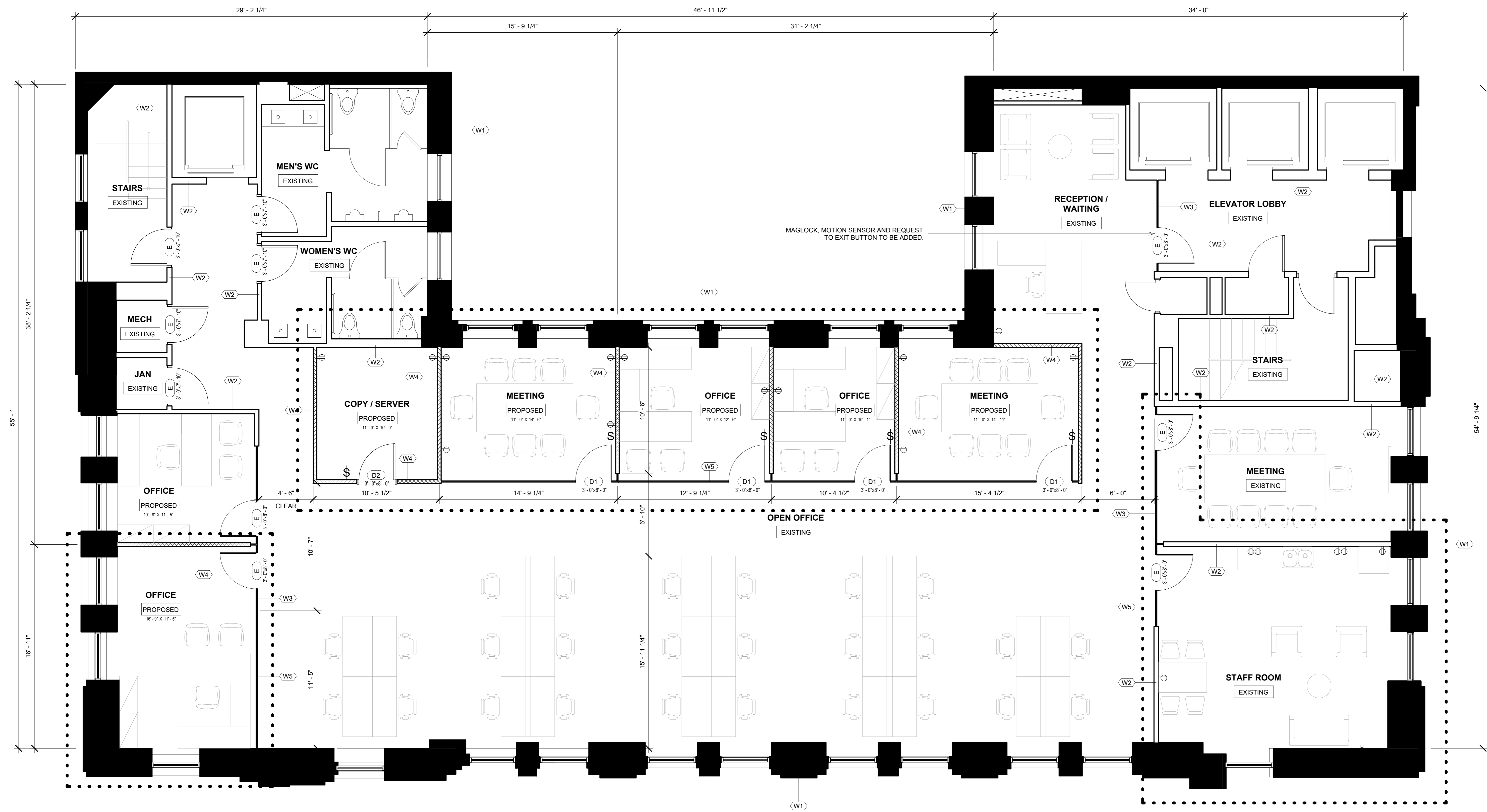
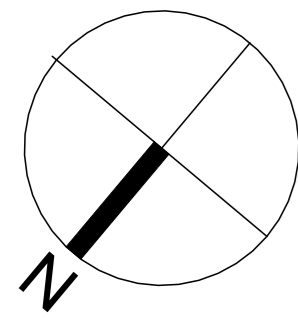
16TH Floor
675 West Hastings St,
Vancouver V6B 1N2
Lot A Block 14 Plan EPP105179
District Lot 541 NWD Group 1
PID: 031-465-242

Notes & Details

Project number	1382
Date	12-AUG-2024
Drawn by	EV
Checked by	BS/JE

BP1.0

Scale As indicated



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Scale 1/4" = 1'-0"

1 PROPOSED PLAN
1/4" = 1'-0"

ELECTRICAL SYMBOLS

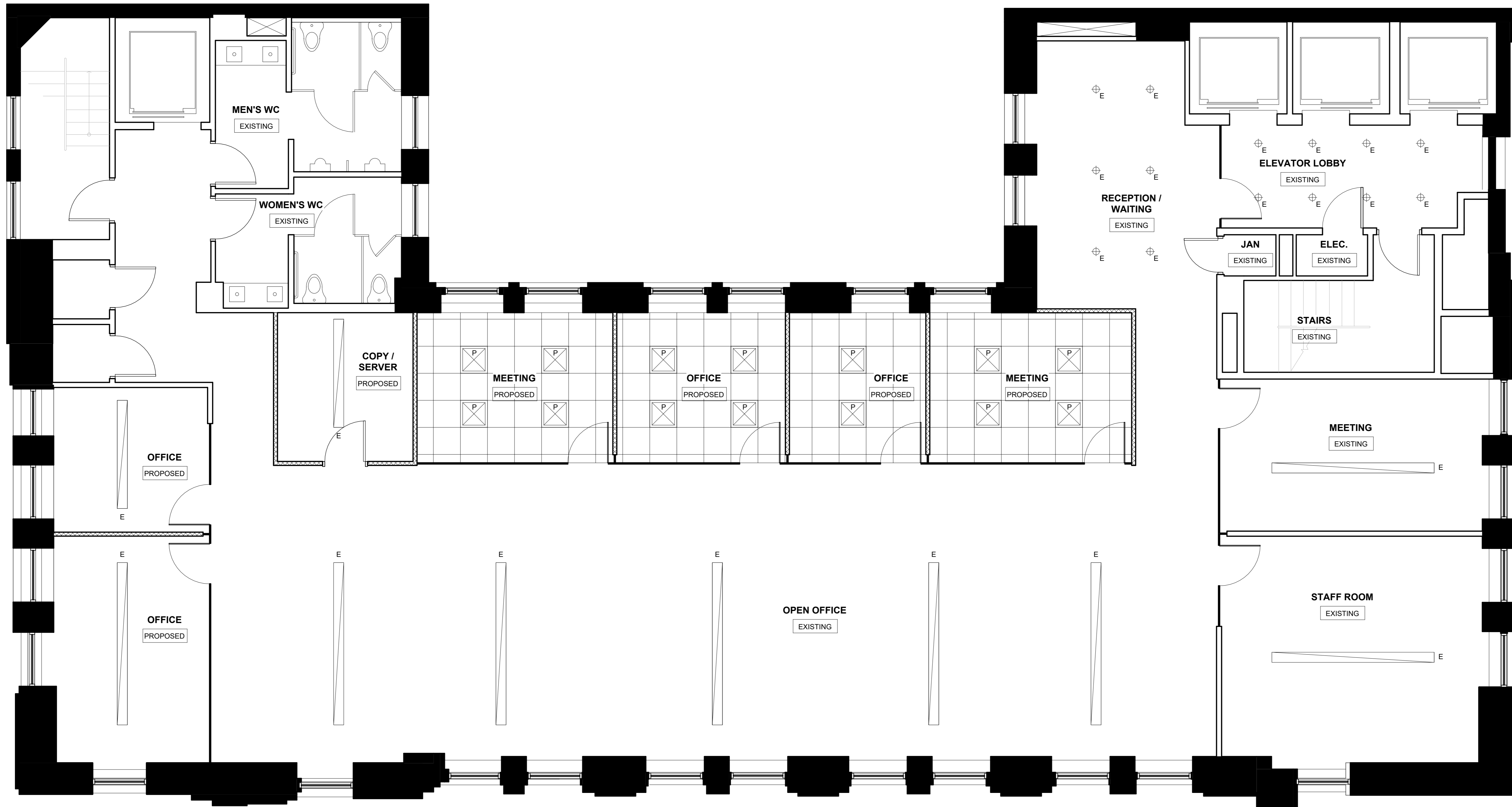
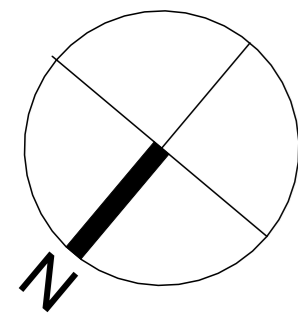
- ⊕ DUPLEX RECEPTACLE OUTLET
- ◁ DATA/TELEPHONE OUTLET
- ⌘ LIGHT SWITCH.
- ELECTRICAL SYMBOLS

SYMBOLS

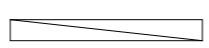





- ⊗ DOOR
- - - AREA OF SCOPE OF WORK
- - - TRAVEL PATH
- EXIT EXIT LIGHT WITH EMERGENCY LIGHT. EXITS ARE CLEARLY INDICATED AS PER VBBL 3.4.5.1.
- SYMBOLS

WALLS

- W1 - EXISTING EXTERIOR WALL TO REMAIN.
- W2 - EXISTING INTERIOR WALL TO REMAIN.
- W3 - EXISTING INTERIOR GLASS WALL TO REMAIN.
- W4 - PROPOSED INTERIOR WALL. SEE DETAIL 2/BP3.0
- W5 - PROPOSED GLASS WALL



1 PROPOSED RCP
 1/4" = 1'-0"

-  LEDALITE VERGE: SUSPENDED LIGHTING FIXTURES IN MULTIPLES OF 8' LENGTHS.
-  LEDALITE VERGE: SUSPENDED LIGHTING FIXTURES IN MULTIPLES OF 12' LENGTHS.
-  LIGHT TIER CFL POTLIGHTS, 6" DIAMETER CLEAR ALZAC TRIM, 26W LAMP.
-  PROPOSED RECESSED 2'-0" X 2'-0" LIGHT FIXTURE.
-  CEILING SYMBOLS
-  PROPOSED T-BAR CEILING @ 8'-0" AFF
- P** DENOTES PROPOSED ELECTRICAL DEVICES/EQUIPMENT
- R** DENOTES EXISTING DEVICES/EQUIPMENT TO BE REPLACED.
- E** DENOTES EXISTING ELECTRICAL DEVICES/EQUIPMENT TO REMAIN.

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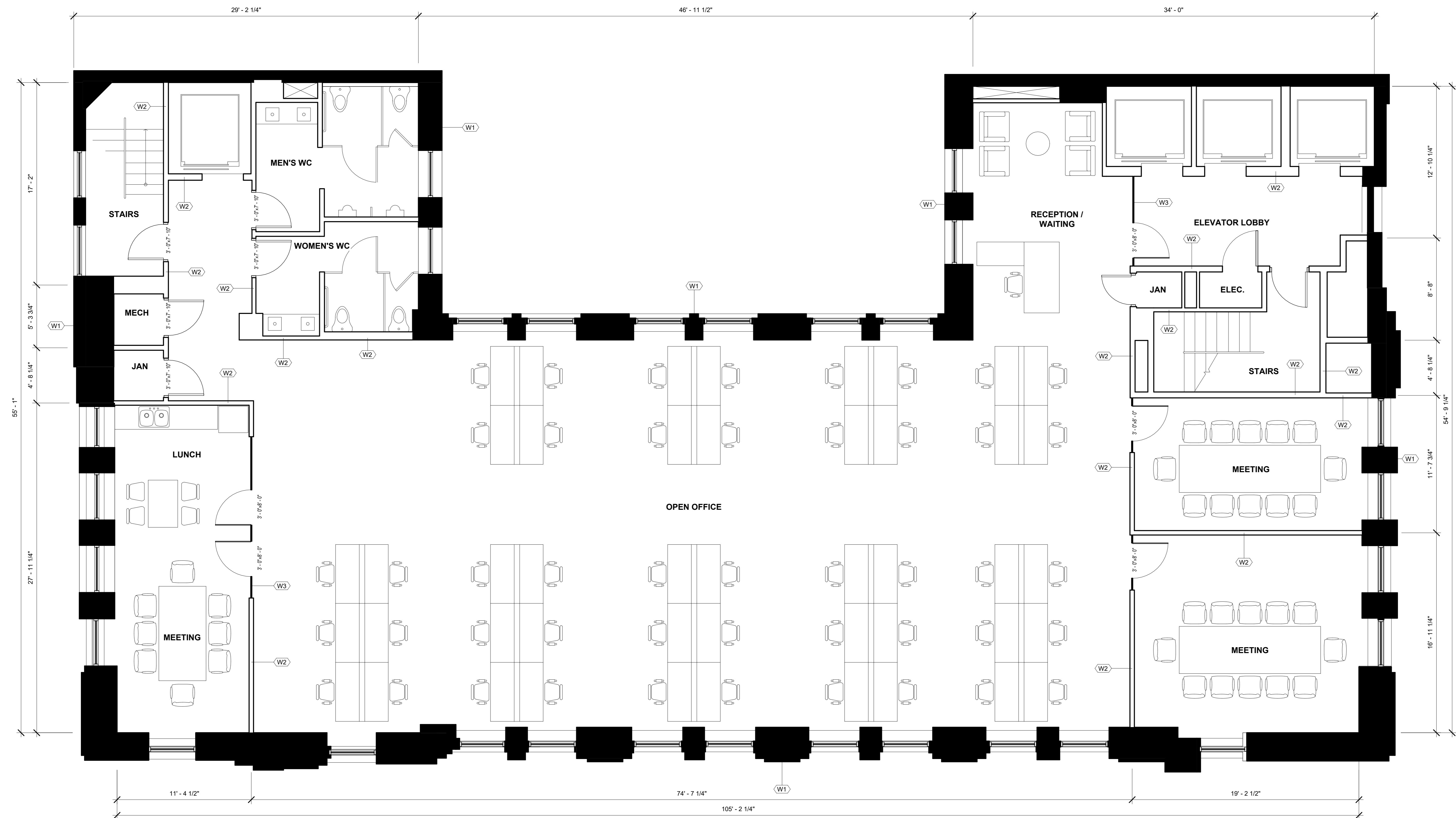
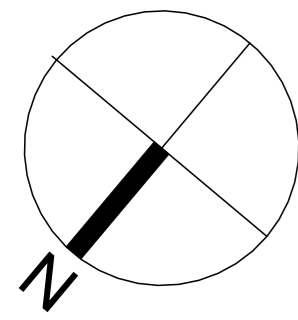
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Proposed RCP

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BP3.0

Scale 1/4" = 1'-0"



1 EXISTING PLAN
 1/4" = 1'-0"

- (X) DOOR
- - - AREA OF SCOPE OF WORK
- - - TRAVEL PATH
- EXIT EXIT LIGHT WITH EMERGENCY LIGHT. EXITS ARE CLEARLY INDICATED AS PER VBBL 3.4.5.1.
- SYMBOLS
- W1 - EXISTING EXTERIOR WALL TO REMAIN.
- W2 - EXISTING INTERIOR WALL TO REMAIN.
- W3 - EXISTING INTERIOR GLASS WALL TO REMAIN.
- W4 - PROPOSED INTERIOR WALL. SEE DETAIL 2/BP3.0
- W5 - PROPOSED GLASS WALL

THESE PLANS CONFORM TO VBBL 2019 EDITION

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BP4.0

Scale 1/4" = 1'-0"

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